

MANASQUAN PLANNING BOARD MEETING AGENDA

MARCH 05, 2024 7:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on March 05, 2024 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Approval of Vouchers

RESOLUTION

2. #14-2024 Kelly, Kathleen - 163 McLean Avenue - Block 158 Lot 11 - Application #13-2023
3. #15-2024 Kolshorn, Patricia - 471 Euclid Avenue - Block 143 Lot 13 - Application #20-2023

APPLICATION

4. #18-2023 227 East Main Street, LLC - Block 89 Lot 1 - Request to Withdraw
5. #02-2024 Boz, James & Noreen - 583 Brielle Road - Block 182.01 Lot 20

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

December 19, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2041
Variance – Boz
Block 182.01, Lot 20
583 Brielle Road
R-5 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

BORO ENGINEERING
MBC _____
CLEM _____
DEC 21 2023
DPV _____ CONST _____
PD _____ OTHER _____

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Architectural Floorplans and Elevations prepared by Carol Hewit, RA, PE, dated July 23, 2022.
2. Plot Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, LLC, dated July 27, 2022, last revised November 8, 2023.
3. Declaration of Easements, American Timber Company, dated October 30, 1990.

The property is located in the R-5 Single-Family Residential Zone with frontage on First Avenue and Brielle Road. With this application, the applicant proposes to demolish the existing dwelling and construct a raised two-story dwelling above a one-car garage as well as associated site improvements. This application is deemed complete on December 19, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-5 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum front yard setback of 10 feet is required, whereas a setback of 8.0 feet is proposed (north - Brielle Road).
 - b. A minimum rear yard setback of 20 feet is required, whereas a setback of 3.79 feet is proposed (south).

Re: Boro File No. MSPB-R2041
Variance – Boz
Block 182.01, Lot 20

December 19, 2023
Sheet 2

- c. A minimum side yard setback (corner) of 7 feet is required, whereas a setback of 3.99 feet is proposed (east – First Avenue).
 - d. A maximum building coverage of 35% is permitted, whereas a building coverage of 47.18% is proposed (60.9% exists).
 - e. A minimum side yard setback of 5 feet is required for patios and landings, whereas a setback of approximately 1 foot is proposed to the paver patio.
 - f. Two conforming parking spaces are required, whereas one parking space is provided in the proposed garage.
3. The following non-conformities exist on Lot 20 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 2,700 square feet is required, whereas a lot area of 1,912.85 square feet exists.
 4. The applicant's engineer has provided a front yard setback averaging chart for other dwellings located within the block. The chart result does not reduce the required setbacks to a point where a variance is not required for the property, but it does provide a comparison for the front yard setbacks for the properties in the area.
 5. The base flood elevation for the property is 9 (Zone AE). The finish first floor of the dwelling is proposed at elevation 14.0.
 6. The total proposed building height as measured from the top of curb will meet the ordinance requirement of 33 feet.
 7. The plan indicates that the existing concrete located on the property outside of the borough right-of-way is to be removed and replaced with beach pebbles.
 8. The location of any proposed air conditioning units must be shown on the plan.
 9. It appears the required 80 square feet of storage space will be provided on the garage floor level.
 10. A drainage recharge system in accordance with the Borough's stormwater ordinance is not proposed. The applicant's engineer should be prepared to justify the request for elimination of the system.
 11. The area of pavement repair for the for the installation of the depressed curb and driveway apron should be shown on the plan. Details for the sidewalk, apron, and pavement repair should be provided.
 12. A landscaping plan for the property must be provided at time of building permit submission. No trees will be removed as part of this application.




Re: Boro File No. MSPB-R2041
Variance – Boz
Block 182.01, Lot 20

December 19, 2023
Sheet 3

13. Any new utilities should be located underground if possible. The dwelling is proposed to be serviced by the existing water, sewer and gas underground utilities.
14. Any curb and sidewalk must be replaced along First Avenue and Brielle Road necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Keith Henderson, esq.
52 Bae Voorhees Drive, PO Box 260, Manasquan, NJ 08736
Joe Kociuba, PE, PP
KBA Engineering Services, LLC, 2517 Route 35,
Building E, Suite 203, Manasquan, NJ 08736
James Boz
300 Herb Hill Road, Apt 333, Glen Cove, NY 11542

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

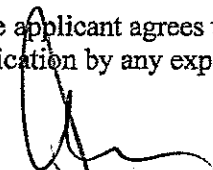
THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

- *Applicant's Name: James and Noreen Boz
- *Applicant's Address: 300 Herb Hill Road, Apt. 333, Glen Cove, NY 11542
- *Telephone Number: Home: _____ Cell: 516-695-0406
- *e-mail Address: JNJTMM@aol.com; christine@hendersonlawfirmnj.com; keith@hendersonlawfirmnj.com
- *Property Location: 583 Brielle Road, Manasquan, NJ 08736
- *Block: 182.01 Lot: 20
- *Type of Application: Bulk Variance
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval
- *Date of Zoning Officer's Denial Letter: February 6, 2023
Attach Zoning Permit Application
- *Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.
- *Is the Applicant the Landowner? YES
- *Does the Applicant own any adjoining land? NO
- *Are the property taxes paid to date? YES
- *Have there been any previous applications to the Planning Board concerning this property? Yes, see attached Resolution No. 23-2023
(Attach copy)
- **Are there any Deed Restrictions, Easements, or Covenants affecting this property? Yes
(Attach copy)
- *The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.



Signature of Applicant or Agent

12/11/23

Date

10/2023

C. KEITH HENDERSON
ATTORNEY-AT-LAW OF NEW JERSEY

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

February 6, 2023

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 182.01 Lot: 20 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.
Boz -- 583 Brielle Road

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new two story single family dwelling.

Plot plan prepared by Joseph Kociuba on July 27, 2022. Conceptual building plans prepared by Carol Hewit on July 23, 2022.

Application denied for the following reason(s):

Section 35-9.4 - Lot Area -- 2,700s.f. Required
1,912.85s.f. Existing

“ - Front Setback -- 10ft. Required
4.13ft. Proposed

“ - Rear Setback -- 20ft. Required
5.19ft. Proposed

“ - Side Setback (East) -- 7ft. Required
3.36ft. Proposed

“ - Building Coverage -- 35% Permitted
49.46% Proposed

“ - Lot Coverage – 50% Permitted
54.26% Proposed

Section 35-4.2 – Requires that the outer edge of the curb cut must be a minimum of 25ft. from the curb line.

Section 35- 11.8c & j – Require that the stair landing and patio must be setback a minimum of 5ft. from the side property line.

Additional required documentation:

- Building height must be measured off the curb on Brielle Road which is the narrower of the two street frontages.
- Plot plan revised to show location of any mechanical equipment.
- Plot plan revised to show compliance with Section 28-1.3.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

RESOLUTION NO. 23 - 2023
(Application 6 - 2023)

RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.

WHEREAS, James and Noreen Boz (hereinafter referred to as the "applicants") have applied to the Planning Board of the Borough of Manasquan (Board) for variance relief pursuant to N.J.S.A. 40:55D-70(c) from the provisions of the Manasquan Zoning Ordinances to demolish an existing structure and to construct a new structure on a lot located at 583 Brielle Road, Manasquan, New Jersey, and known as Block 182.01, Lot 20 on the Manasquan Tax Map; and,

WHEREAS, a public hearing was held at the regularly scheduled meeting of the Planning Board on June 6, 2023 and testimony having been presented on behalf of the applicants and the public having been given an opportunity to be heard; and,

WHEREAS, the hearing was also offered to the public via a remote electronic meeting format via the Zoom remote conferencing platform; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes and Municipal Ordinances has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in an R-5 Zone.
2. The property is located in the southwest quadrant of the intersection of Brielle Road and First Avenue in the Borough of Manasquan. The property is undersized and slightly irregular in shape having 42.98 feet of frontage on First Avenue, 42.24 feet of frontage on Brielle Road, 44.90 feet across the westerly lot line and 44.90 across the southerly lot line. The property contains a 1 ½ story bungalow-style home without a garage or driveway. The property presents with the front of the dwelling facing Brielle Road. By way of function of the Borough Ordinances, since the frontage along Brielle Road is narrower, Brielle Road is considered the property's front, making the southerly lot line the rear, and the easterly and westerly lot lines side yards.
3. The applicants are proposing to demolish the existing structure and to construct a new two-story raised dwelling with a height of 33 feet. In support of the application, the applicants provided architectural plans prepared by Carol C. Hewitt, PE, AIA, July 23, 2022 and the Variance Plan prepared by Joseph J. Kociuba, P.E., P.P. dated July 27, 2022. The plans provided by the applicants were accepted and relied upon by the Board in its deliberations regarding this matter in conjunction with all other exhibits and testimony offered at the hearing.
4. The applicants were represented by C. Keith Henderson, Esq., of the firm of Henderson and Henderson before the Board and the testimony was primarily provided by the applicant, Noreen Boz, Carol C. Hewitt, P.E., A.I.A., and Joseph J. Kociuba, P.E., P.P. Ms. Hewitt was accepted by the Board as an expert in the field of Architecture. Mr. Kociuba was accepted by the Board as an expert in the fields of

*CO. D. Fury
K. Henderson
File*

Engineering and Planning. Testimony was also provided by neighbors who disfavored the grant of the relief requested.

5. Upon review of the application by the Board Engineer, and upon hearing his comments and receiving his report, the Board determined that the applicants' proposal required variance relief as follows:

A. Minimum Front Yard Setback, where 10 feet is required along Brielle Road and 4.13 feet is proposed.

B. Minimum rear yard setback, where 20 feet is required and 5.19 feet is proposed.

C. Minimum side yard setback, where 7 feet is required and 3.36 feet is proposed along the First Avenue Frontage.

D. Maximum Building Coverage, where 35% is permitted, 60.9% exists and 49.46% is proposed.

E. Maximum Lot Coverage where 50% is permitted, 87.57% exists, and 54.26% is proposed.

F. Curb cut placement where a curb cut must be 25 feet from an intersection and 20 feet is proposed.

G. Maximum side yard for patio placement where 5 feet is required and 3 feet is proposed to the patio and approximately 2.5 feet is proposed to the landing.

6. Stipulations and amendments were made as follows:

A. The applicants stipulated that they would reduce the size of the garage and design the structure to move the driveway away from the intersection thus eliminating the need for the variance regarding the distance from the curb cut to the intersection. The Board determined that such a change would require variance relief for parking where two spaces would be required and only one proposed. The Board accepted the stipulation from the application, amended the application in accordance with same, and deliberated upon the application accordingly.

B. The applicants also stipulated that they would move the structure back to six feet from the front property line rather than the proposed 4.3 feet.

7. The Board finds that the variance relief must be denied. The Board finds that the structure proposed for this lot does not fit the lot's dimensions. In other words, the Board finds that the proposed dwelling is too big. The Board notes that the structure that presently sits on the lot is subject to nonconforming conditions as to setbacks and coverages. The Board notes that in some ways the nonconformities can be said to be decreasing but finds that in other real and more impactful ways the detriments are increasing. The Board notes that the proposed structure is proposed to be built at 33 feet. While 33 feet is the permitted height for this nonconforming lot, the impacts of the height within the setbacks upon the neighbors, and the neighborhood, are greater than what presently exists. While pre-existing nonconforming conditions are tolerated under the Municipal Land Use Law, those conditions should be remediated where and when possible and in no instance should they be exacerbated. The Board finds that due to the increased height of the structure, the nonconformities are exacerbated by the

proposal. From this, the Board finds that the variance relief must be denied because the grant of same would substantially impair the zone plan. The Board also finds that the structure as proposed is not proportional to the lot and unduly impacts upon the air, light and open space of the neighbors. While the numbers may be dropping, the impact of the new dwelling will be greater due to the increase in bulk of the new dwelling. The Board sites as an example the applicants' offer to move the structure away from Brielle Road to accommodate the neighbor to the west. By doing so, the applicants will bring the structure closer to the neighbor to the south. The neighbor to the south rose in objection to such a plan. Also the neighbor to the south objected to the placement of the applicants' mechanicals being on the same level as his living space. The neighbor to the west objected to applicants' dwelling being sited closer to the street than his. The Board finds merit in the objections made and finds that the grant of the relief requested cannot be granted because the grant would cause substantial detriment to the public good accordingly. The Board further finds that the asserted improvements to the zone plan that may be achieved by the lessening of certain nonconformities do not outweigh the detriments that will accrue by permitting the dwelling structure to be built as proposed. Likewise, the Board finds that while a certain hardship exists due to the size of the lot, the hardship does not support or justify the grant of the variance where the grant will result in detriment to the public good and impairment of the zone plan as discussed herein. The Board finds no reason to consider the application under N.J.S.A. 40:55D-70(c.2) as presenting a better zoning alternative because the Board finds that no such better zoning alternative has been proposed.

8. The Board finds that the applicant has not demonstrated that the relief can be granted without substantial impairment of the zone plan and without substantial detriment to the public good and the Board finds that it must and does deny the relief requested accordingly.

WHEREAS, The Board has determined that the relief requested by the applicants cannot be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Master Plan and Zoning Ordinances of the Borough of Manasquan and that the benefits of this application do not outweigh the detriments,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this 11th day of July, 2023, that the application for variance relief shall be and hereby is denied.


BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with the respect to the development denial herein made.



Neil Hamilton,
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Barbara Ilaria, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on July 11, 2023.


Barbara Ilaria

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan

DECLARATION OF EASEMENTS

This Declaration of Easements is made this 30th day of October, 1990, by American Timber Company, a New Jersey corporation having its principal office at First and Terrace Avenues, Sea Girt, New Jersey 08750 ("ATC").

WITNESSETH:

WHEREAS, ATC is the owner of fee simple title to certain real property situated in the Borough of Manasquan, Monmouth County, New Jersey as described in Exhibit A attached hereto and made a part hereof (hereinafter referred to as the "Property"); and

WHEREAS, ATC deems it advisable to declare certain easements to burden and to benefit various lots constituting portions of the Property as more fully set forth herein.

NOW, THEREFORE, based on the foregoing premises and for Ten Dollars (\$10.00) and other good and valuable consideration, ATC declares the Property is and shall be held, transferred, sold, conveyed, leased, occupied and used together with and subject to the easements hereinafter set forth in this Declaration.

1. Any person or entity in whom record fee simple title to any lot or lots constituting any part of the Property, as depicted on Exhibit A is vested as shown on the records of the Monmouth County Clerk, ("Owner") is hereby granted a perpetual nonexclusive easement to enter onto such portion of the Property immediately adjacent to the boundaries of such Owner's lot for the sole purpose of permitting such Owner to maintain, repair and reconstruct the walls of the existing residential dwelling on such lot, as well as any facing or siding, trim, roof overhang, roofing, decking and rain gutters of said residential dwelling.

Prepared by
Robert A. Marsico
Robert A. Marsico, Esq.
Clapp & Eisenberg, P.C.
80 Park Plaza
Newark, New Jersey 07102

DB5035-0255

Rec'd 11-7-90

2. Each Owner of any part of the Property is hereby granted a perpetual nonexclusive easement and right of way over, under and through the Property for the continued existence, maintenance, repair and replacement of existing underground utilities, water, sewer and drainage pipes servicing such Owner's lot.

3. Each Owner to whom any easement rights are granted hereunder shall exercise all rights granted hereunder at such times and in such manner as will not constitute a hazard or nuisance to person or property and as will be in compliance with all applicable laws. The exercise of easement rights hereunder shall be in a manner that minimizes damage to the burdened land.

4. The easements herein created shall run with and be a burden upon the land and shall inure to the benefit of and be binding upon each Owner, his heirs, executors, administrators, successors and assigns.

5. Each Owner hereby indemnifies and holds harmless ATC, the Borough of Manasquan and their successors and assigns and any subsequent holder of fee title to land burdened by any easement hereunder and benefitting the land of such Owner, against any and all claims, liability, loss or damage to person or property resulting from the use of such easement or any act undertaken or failure to act in connection with the use and enjoyment of said easement.

6. Each Owner shall, at its own cost and expense, promptly repair and restore any damage to property resulting from the exercise of its rights and privileges hereunder.

IN WITNESS WHEREOF, the undersigned has executed this Declaration of Easements on the date first above written.

(Seal)
AMERICAN
ATTEST:
Carl A. Yard, Jr.
Carl A. Yard, Jr.,
Secretary

AMERICAN TIMBER COMPANY,
a New Jersey Corporation

By: *Catharine A. Yard*
Catharine A. Yard,
Vice President

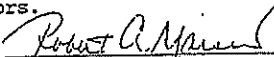
Exhibit A

Block 167	Lot 1, 2, 3 and 4 thru 18
" 168	All
" 181	All
" 182.01	All
" 182.03	Lots 8 thru 16
" 184.01	All
" 184.02	Lots 1 thru 8
" 184.03	All
" 184.04	Lots 9 thru 16
" 184.05	All
" 185	All
" 186.01	All
" 186.02	All
" 186.03	All
" 187	All
" 191	Lots 1 thru 14

DB5035-0257

STATE OF NEW JERSEY)
) SS.:
COUNTY OF ESSEX)

Be it Remembered, that on this 30th day of October 1990, before me the subscriber an attorney at law of New Jersey appeared Catharine A. Yard, who, I am satisfied, is the person who signed the within instrument as Vice President of American Timber Company the corporation named therein and she thereupon acknowledged that the said instrument made by the corporation and sealed with its corporate seal, was signed, sealed with the corporate seal and delivered by her as such officer and is the voluntary act and deed of the corporation, made by virtue of authority from its Board of Directors.


Robert A. Marsico
Attorney at Law of New Jersey

DB5035-0258

DECLARATION OF EASEMENTS

By: AMERICAN TIMBER CORPORATION

Dated: October 30, 1990

Record & Return to:

ROBERT A. MARSICO, ESQ.
CLAPP & EISENBERG, P.C.
80 Park Plaza
Newark, New Jersey 07102

Chg 5 232
116
Century Fide-8

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RECORDED
MORRIS COUNTY
CLERK'S OFFICE
2:05 PM
NOV 7 1990
JANE G. CLAYTON
COUNTY CLERK
FREEHOLD N.J.

END OF DOCUMENT

DB5035-0259

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

February 6, 2023

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
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Re: Block: 182.01 Lot: 20 Zone: R-5 Flood Zone: AE BFE: 9ft. DFE: 10ft.
Boz – 583 Brielle Road

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1,912.85s.f. Existing

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49.46% Proposed

“ - Lot Coverage – 50% Permitted
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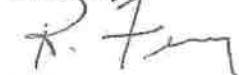
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Additional required documentation:

- Building height must be measured off the curb on Brielle Road which is the narrower of the two street frontages.
- Plot plan revised to show location of any mechanical equipment.
- Plot plan revised to show compliance with Section 28-1.3.

If you have any questions, please call me at 732-223-0544, ext. 256

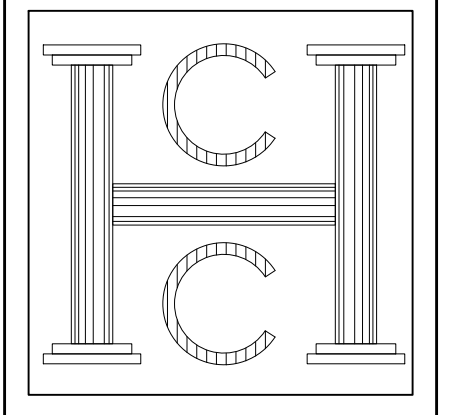
Sincerely,



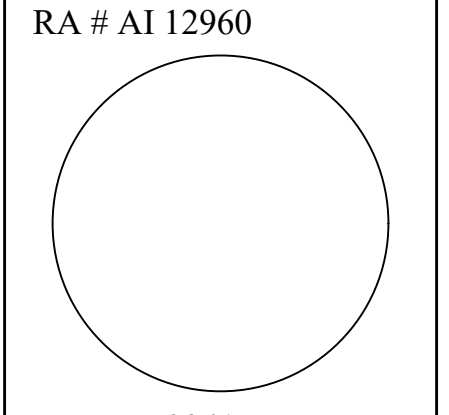
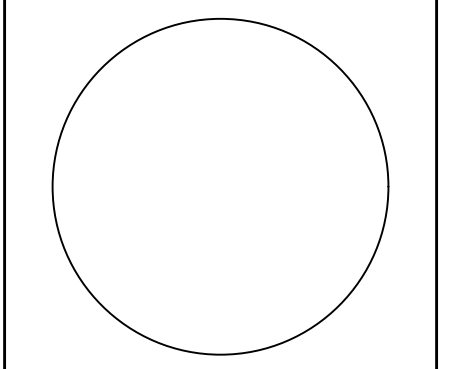
Richard Furey
Zoning/Code Enforcement Officer

Boz Residence

583 Brielle Road
Manasquan, New Jersey



ARCHITECTURE & ENGINEERING
(908) 451-3161
CAROL C. HEWIT, PE AIA
468 ALLISON DRIVE
MANTOLOKING, NJ 08738



SCALE: NOTED
DRAWN BY: H. SANTOS
CHECKED BY: C.C. HEWIT
DATE: 07-23-2022
JOB #:

Boz Residence
583 Brielle Road
Manasquan, New Jersey

NO.	DATE	REVISION

DRAWING TITLE:
GENERAL NOTES

DRAWING NO.

GN-1

SCHEDULE OF DRAWINGS	
GN1	TITLE SHEET - ZONING DATA - CODE DATA, DWGS INDEX GENERAL NOTES & SECTION
A1	PROPOSED PLANS
A2	PROPOSED PLANS
A3	PROPOSED ELEVATIONS
A4	PROPOSED ELEVATIONS

LEGEND	
	NEW PARTITION WALLS
	EXISTING PARTITION WALLS TO BE REMOVED
	1 HR. RATED PARTITION WALLS
	NEW CMU WALL
	EGRESS WINDOW

GENERAL NOTES:	
1.	THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE LOCAL, STATE, AND NATIONAL CODES INCLUDING THE NEW JERSEY UNIFORM CONSTRUCTION CODE, REHABILITATION SUB CODE (NJAC 5:23-6), 2018 ENERGY CODE, AND THE 2018 INTERNATIONAL BUILDING CODE/2018 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION, INTERNATIONAL ENERGY CODE (NJAC 5:23-3.18) IGC/ANSI 117-1-2008, INTERNATIONAL FUEL GAS SUBCODE 2018 (NJAC 5:23-3.22) AND ELEVATOR SUBCODE (NJAC 5:23-12) AND NFPA702018.
2.	ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NJAC 5:23-3.16) AND NFPA702018.
3.	ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE 2018(NJAC 5:23-3.15).
3.5.	ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE 2018 (NJACS-23-3.20)
4.	ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD ADJUSTED WITH THE APPROVAL OF THE ARCHITECT.
5.	THE CONTRACTOR IS TO VERIFY ALL FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF FOUNDATION TO CORRESPOND WITH THE SITE PLAN AND COORDINATE WITH THE SURVEYOR AS TO THE EXACT LOCATION AND FOR AS-BUILT SURVEYS AS REQUIRED.
6.	THE CONTRACTOR SHALL CARRY CONTRACTOR'S LIABILITY AND WORKERS' COMP. INSURANCE AND BE RESPONSIBLE FOR SAFETY ON THE JOB.
7.	ALL NEW ITEMS INSTALLED SHOULD MATCH ORIGINAL QUALITY AND DETAIL OF EXISTING, UNLESS SPECIFICALLY NOTED, INCLUDING TRIM, FIXTURES, MASONRY, CARPENTRY, ETC.
8.	CONTRACTOR SHALL VERIFY ALL FINISHED MATERIALS, LIGHTING FIXTURES, PLUMBING FIXTURES, CABINETS, DOORS, WINDOWS, ETC. WITH OWNER PRIOR TO INSTALLATION.
9.	PATCH, REPAIR, AND MATCH ALL AREAS DISTURBED BY ADJACENT WORK.
10.	CONTRACTOR TO ESTABLISH LOCATION OF WATER MAIN, GAS LINES, AND POWER LINES PRIOR TO START OF THE JOB.
11.	ALL FOOTINGS AND PIERS TO BE A MINIMUM OF 3'-0" BELOW GRADE.
12.	CONCRETE: MINIMUM 3000 PSI (28 DAY COMPRESSION TEST) AND ACI REQUIREMENTS.
12.5.	ALL BLOCK MASONRY SHALL CONFORM TO ASTM900 (8 BE A MIN. 2 HOUR RATED-CLASS P-2) MORTAR SHALL BE TYPE "M", ASTM DESIGNATED C270 HORIZONTAL JOINT REINFORCEMENT HOT-DIPPED GALVANIZED DUR-O-WALL IN ALTERNATING COURSES. REINFORCEMENT BARS SHALL BE DEFORMED INTERMEDIATE GRADE PER ASTM 615 FOR 60,000 PSI YIELD STRENGTH. PROVIDE VERTICAL REINFORCING AS SHOWN ON THE DRAWINGS. FILL TOP AND BOTTOM COURSES AND CORES WITH REINFORCING BARS OR ANCHOR BOLTS SOLID WITH GROUT.
13.	STRUCTURAL LUMBER: MINIMUM CONSTRUCTION GRADE 2 DOUGLAS FIR, FB= 1450 PSI, 1250 PSI FOR REPETITIVE USE AND E= 1.6 X 10 E66 PSI. MICROLAMS BE GEORGIA PACIFIC TECLAMS OR EQUIV.; FB= 2850 PSI, STEEL TO BE A-36; FB= 21,000 PSI. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH IRC/IBC AND LOCAL CODES. PROVIDE JOIST HANGERS @ ALL FLUSH JOINT CONNECTIONS. PROVIDE HURRICANE TIES @ ALL VERTICAL JOIST ENDS, SECURED TO FACE OF FRAMING. DOUBLE ALL FLOOR JOISTS UNDER ALL WALLS.
14.	USE ACO LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY OR WHERE EXPOSED TO THE WEATHER. EXTERIOR GULLANS BY ROSSBORO; FB=2400 PSI AND E=1.8X10E66 PSI OR EQUIV.
15.	SOIL BEARING ASSUMED TO BE MINIMUM REQUIRED OR 2000 PSF. ON SOLID, UNDISTURBED EARTH. DO NOT BEAR ON UNSUITABLE STRATA.
16.	JOB SITE IS TO BE KEPT CLEAN WITH DEBRIS AND MATERIALS STACKED DAILY AND ALL DEBRIS TO BE REMOVED AT THE COMPLETION OF THE JOB. BROOMSWEEP DAILY.
17.	CONTRACTOR TO PROVIDE A PORTA-JOHN IF REQUIRED OR REQUESTED BY HOMEOWNER.
17.	SITE TO GRADED IN ACCORDANCE WITH THE DRAWINGS AND A MINIMUM OF 2% SLOPE AWAY FROM THE STRUCTURE.
18.	ALL GROUNDS AFFECTED BY THE CONSTRUCTION TO BE GRADED, SEEDED, AND COVERED WITH SALT-HAY.
19.	CONTRACTOR SHOULD PRESERVE ALL EXISTING LANDSCAPING AND BE RESPONSIBLE FOR DAMAGE TO ADJACENT SHRUBBERY AND TREES.
20.	ALL WINDOW AND DOOR HEADERS SHALL BE (2) 2"x10" UNLESS NOTED.
21.	ADD SIMPSON H-4 HURRICANE STRAPS @ 16" OC BETWEEN THE ROOF RAFTERS AND EXTERIOR WALLS.
22.	ALL WINDOW SILLS 6'-0" ABOVE GRADE SHALL BE A MINIMUM OF 24" AFF. EGRESS WINDOWS MUST BE 5.7 SF OPENING, 20" W X 24" H, MIN. AND A MAX. OF 44" AFF.
23.	ALL GLASS WITHIN 24" OF A DOOR SWING SHALL BE TEMPERED.
24.	PROVIDE FLASHING @ WINDOW HEADS AND SILLS AND AT EXTERIOR DOOR HEADS AND ALL ROOF/WALL PENETRATIONS. SEAL EXTERIOR PERIMETER WINDOWS AND DOOR WITH GE SILICONS OR EQUIV. IN MATCHING COLOR. PROVIDE APPROVED SEALANT AT ALL FIRE RATED ASSEMBLY PENETRATIONS AT ALL WALL ASSEMBLY TERMINATIONS AND AT UNDERSIDE OF FLOOR ABOVE.
25.	FLAT ROOFING SHALL BE A MIN. 60 MIL-SINGLE-PLY EPDM CLASS "A" ROOFING BY FIRESTONE OR EQUIV. PROVIDE ALL COUNTER FLASHING AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.
26.	ACCESS TO NEW CRAWL SPACE WILL BE MINIMUM OF 32"
27.	STAIR NOTES: MINIMUM HEADROOM IS 80" CLEAR. RAILING HEIGHT IS 36" WITH SPACE BETWEEN THE BALUSTERS TO BE LESS THAN 4". HANDRAILS ARE AT 34" HIGH AND PROJECT NO MORE THAN 3 1/2" INTO THE REQUIRED STAIR WIDTH WITH A GRIPPING SURFACE OF 1 1/2" TO 2".
28.	TEST ALL PLUMBING FOR PROPER DRAINAGE AND AT CONNECTION TO EXISTING SEWER LINES TO PREVENT A BACKUP WHEN MULTIPLE FIXTURES ARE DRAINED AT THE SAME TIME. IF SNAKING LINE TO THE STREET IS REQUIRED, THIS EXPENSE WILL BE THE OWNERS.
USE GROUP	R5
CONSTRUCTION TYPE	SB

CODE DATA	
BLOCK	3
LOT NO.	4
BUILDING USE GROUP:	R-2 RESIDENTIAL SINGLE FAMILY IRC 2018 NJ
CONSTRUCTION CLASSIFICATION:	TYPE Vb 2018 NJ
FIRE SUPPRESSION:	NOT REQUIRED AND NOT PROVIDED
FLOOD ZONE:	AE 8+1 = DFE = ELEV. 9.0'

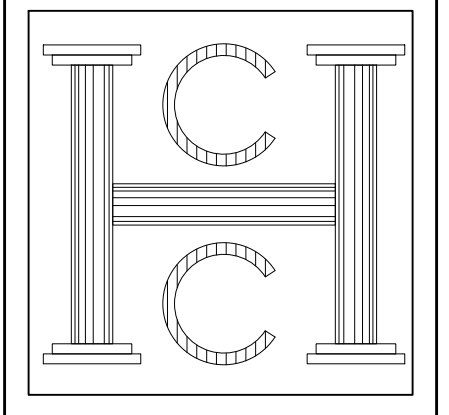
ELECTRIC LEGEND	
	SWITCH
	THREE WAY SWITCH
	DUPLEX, QUAD OUTLET
	CLOCK OUTLET
	CEILING MOUNTED LIGHT FIXTURE ON DIMMER SWITCH (OWNER TO SUPPLY)
	WALL MOUNTED LIGHT FIXTURE ON DIMMER SWITCH (OWNER TO SUPPLY)
	CEILING MOUNTED FAN (OWNER TO SUPPLY)
	CEILING MOUNTED LED LIGHT FIXTURE
	RECESSED HIGH HAT, RECESSED EYEBALL LIGHT ON DIMMER SWITCH
	MINI RECESSED LIGHT ON DIMMER SWITCH
	UNDER CABINET LED LIGHT FIXTURE
	EXHAUST FAN BY NUTONE (100 CFM MIN.) VENT OUTSIDE
	EXHAUST FAN/LIGHT CEILING BY NUTONE (100 CFM MIN.)
	HEAT LAMP
	TELEPHONE RECEPTACLE
	CABLE CONNECTION
	SMOKE DETECTOR (HARDWIRED TOGETHER W/ BATTERY BACKUP) ONE PER FLOOR & ONE PER BEDROOM
	CARBON MONOXIDE DETECTOR TIED INTO SMOKE ALARM
	SPOTLIGHT TO A SWITCH
	E - DENOTES EXISTING RECESSED RADIATOR

AREA CALCULATIONS	
FIRST FLOOR	801SF HEATED + 144SF COVERED PORCH = 945SF
SECOND FLOOR	862SF HEATED + 83SF COVERED PORCH = 945 SF
ATTIC	0 SF ABOVE 5FT HIGH

STRUCTURAL DESIGN CRITERIA	
1ST FLOORS LIVE LOAD	40 LBS/SQ FT
1ST FLOORS DEAD LOAD	10 LBS/SQ FT
2ND FLOOR LIVE LOAD	30 LBS/SQ FT
2ND FLOOR DEAD LOAD	10 LBS/SQ FT
3RD FLOOR LIVE LOAD	30 LBS/SQ FT
3RD FLOOR DEAD LOAD	10 LBS/SQ FT
ROOF LIVE LOAD	30 LBS/SQ FT
ROOF DRIFT LOAD	15 LBS/SQ FT

ZONING DATA		R-5		
CATEGORY	REQUIRED	EXISTING	PROPOSED	VARIANCE REQ'D
LOT SIZE	2700 SF	1913 SF	1913 SF	EXIST. NON-CONFORMING
FRONTAGE	40 FT	42.24 FT / 42.98 FT	42.24 FT	EXIST. NON-CONFORMING
FRONT YARD SETBACK				
BRIELLE ROAD	10 FT	1.5 FT	8.00 FT	YES
FIRST AVE.	7 FT (6.83' AVG.)	4.5 FT	4.1 FT	YES
SIDE YARD SETBACK	5 FT	5 FT	5 FT	NO
REAR YARD SETBACK	17 1/4' FT	1.22 FT	16.1 FT / 4.2 FT	YES
MAX. HEIGHT	33 FT / 2.5 STORIES	19.65 FT	33 FT	NO
MAX BLDG. COVERAGE	46.5% (890 SF)	61.47% (1176 SF)	46.5% (890 SF)	YES
MAX. LOT COVERAGE	57% (1091 SF)	79.81% (1528 SF)	57% (1091 SF)	YES
CURB CUT TO CORNER. 25' REQUIRED 17.5' PROPOSED				
PATIO/ STAIR LANDING FROM PROPERTY LINE. 5' REQUIRED 3' PROPOSED				
NOTE: HEIGHT IS MEASURED FROM AVERAGE TOP OF CURB ON BRIELLE ROAD				
NOTE: PLOT PLAN ON COMPLIANCE WITH SECTION 28-1.3				

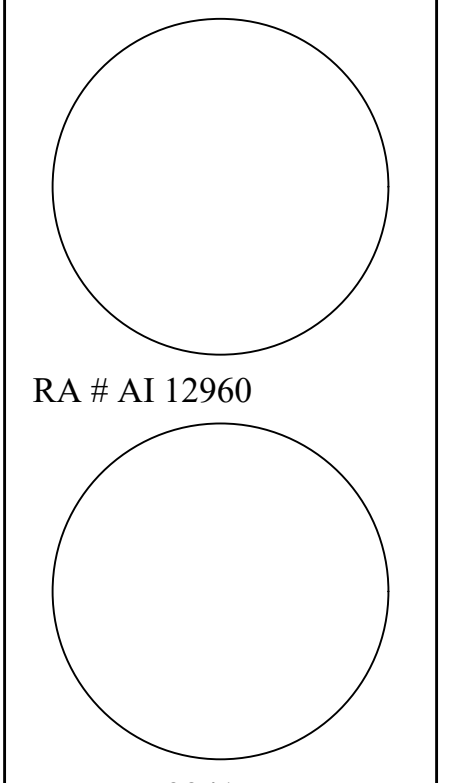
SYMBOLS	
	INDICATES DETAIL NUMBER
	INDICATES SHEET IN WHICH DETAIL APPEARS
	ELEVATION REFERENCE
	DOOR NUMBER
	ELEVATION MARK
	SECTION CUT
	EXTERIOR DOOR & WINDOW NUMBER
	COLUMN LINE NUMBER
	DETAIL
	SECTION REFERENCE
	OFFICE
	ROOM NAME & NUMBER
	WALL TYPE



ARCHITECTURE & ENGINEERING

(908) 451-3161

CAROL C. HEWIT, PE AIA
468 ALLISON DRIVE
MANTOLOKING, NJ 08738



PE # GE 32417

SCALE: NOTED

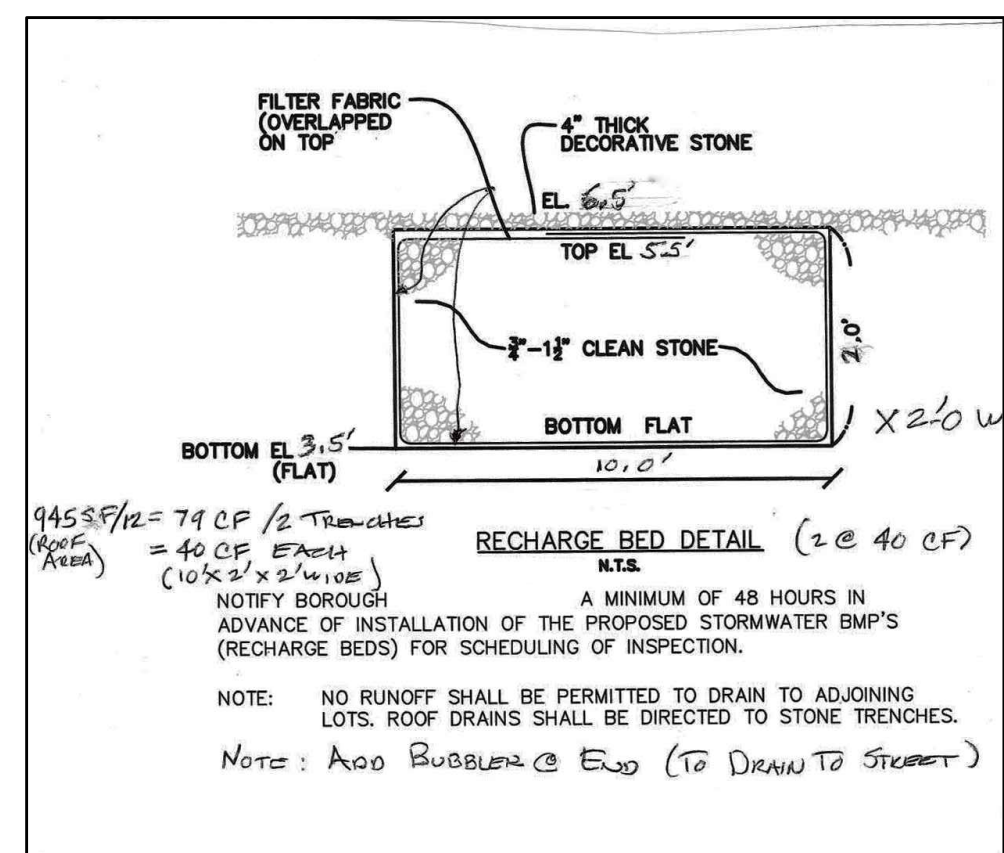
DRAWN BY: H. SANTOS

CHECKED BY: C.C. HEWIT

DATE: 07-23-2022

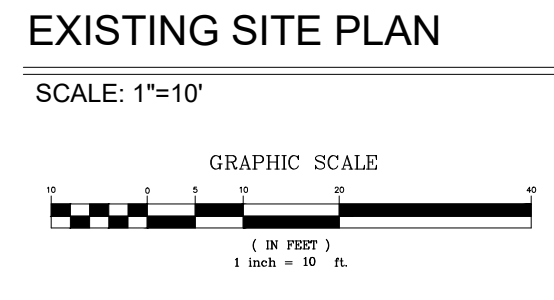
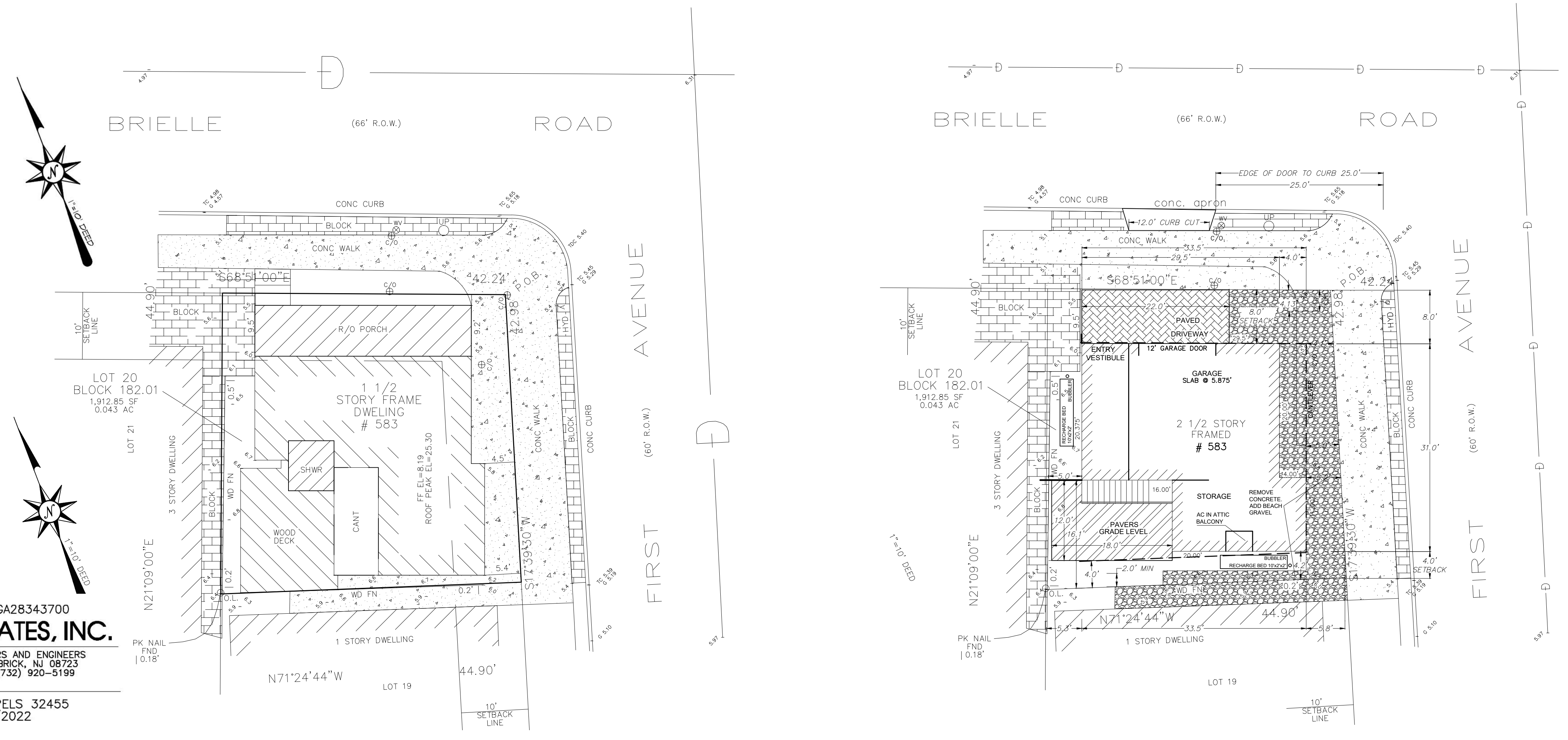
JOB #:

Boz Residence
583 Brielle Road
Manasquan, New Jersey



CERT. OF AUTH. # 24GA28343700
F P & L ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS AND ENGINEERS
253 BRICK BLVD., SUITE 5, BRICK, NJ 08723
TEL (732) 920-5100 FAX (732) 920-5199

JOHN W. LORD NJPELS 32455
DATE 3/15/2022



CODE DATA	
BLOCK	3
LOT NO.	4
BUILDING USE GROUP:	R-2 RESIDENTIAL SINGLE FAMILY IRC 2018 NJ
CONSTRUCTION CLASSIFICATION:	TYPE Vb 2018 NJ
FIRE SUPPRESSION:	NOT REQUIRED AND NOT PROVIDED
FLOOD ZONE:	AE 8+1 = DFE = ELEV. 9.0'

SETBACK CHART			
BRIELLE ROAD			
BLOCK	LOT	HOUSE	
182.01	20	9.20'	
182.01	21	1.96'	
182.01	22	---	
182.01	23	11.21'	
182.01	24	11.48'	
182.01	25	1.45'	
182.01	26	15.76'	
182.01	27	10.91'	
FIRST AVENUE			
182.01	20	4.50'	
182.01	19	3.78'	
182.01	18	3.05'	
182.01	17	3.98'	
182.01	16	4.24'	
182.01	15	15.56'	
182.01	14	4.37'	
182.01	13	7.63'	
AVERAGE		8.53'	

STANDARD NOTES SOIL EROSION AND SEDIMENT CONTROL

CONSTRUCTION SCHEDULE:
1. CLEARING OF LOT(S).
2. INSTALLATION OF STONE PAD(S) AND SILT FENCE.
3. PILING LAYOUT & INSTALLATION.
4. CONSTRUCTION OF DWELLING UNIT(S).
5. FINAL GRADING OF LOT(S).
6. PERMANENT STABILIZATION OF LOT(S).

NOTE: ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE), OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

GENERAL NOTES

- UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EXISTING UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/ EXCAVATION.
- FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
- THERE ARE NO WETLANDS ON SITE.

LEGEND		
S 0.00 =	SPOT ELEVATION	
P 0.00 =	PROPOSED FIN. GRADE	
TC 0.00 =	TOP OF CURB ELEV.	
G 0.00 =	GUTTER ELEV.	
←	DIRECTION OF RUNOFF	
ELEVATIONS REFER TO N.A.V.D. 1988		

ZONING DATA R-5				
CATEGORY	REQUIRED	EXISTING	PROPOSED	VARIANCE REQ'D
LOT SIZE	2700 SF	1913 SF	1913 SF	EXIST. NON-CONFORMING
FRONTAGE	40 FT	42.24 FT / 42.98 FT	42.24 FT	EXIST. NON-CONFORMING
FRONT YARD SETBACK				
BRIELLE ROAD	10 FT	1.5 FT	8.00 FT	YES
FIRST AVE.	7 FT (6.83' AVG.)	4.5 FT	4.1 FT	YES
SIDE YARD SETBACK	5 FT	5 FT	5 FT	NO
REAR YARD SETBACK	17 1/4' FT	1.22 FT	16.1 FT / 4.2 FT	YES
MAX. HEIGHT	33 FT / 2.5 STORIES	19.65 FT	33 FT	NO
MAX BLDG. COVERAGE	46.5% (890 SF)	61.47% (1176 SF)	46.5% (890 SF)	YES
MAX. LOT COVERAGE	57% (1091 SF)	79.81% (1528 SF)	57% (1091 SF)	YES
CURB CUT TO CORNER. 25' REQUIRED 17.5' PROPOSED. PATIO/ STAIR LANDING FROM PROPERTY LINE. 5' REQUIRED 3' PROPOSED				
NOTE: HEIGHT IS MEASURED FROM AVERAGE TOP OF CURB ON BRIELLE ROAD				
NOTE: PLOT PLAN ON COMPLIANCE WITH SECTION 28-1.3				

SETBACK CHART			
BLOCK	LOT	HOUSE	
182.01	20	4.50'	
182.01	19	3.78'	
182.01	18	3.05'	
182.01	17	3.98'	
182.01	16	4.24'	
182.01	15	15.56'	
182.01	14	4.37'	
182.01	13	7.63'	
AVERAGE		8.53'	

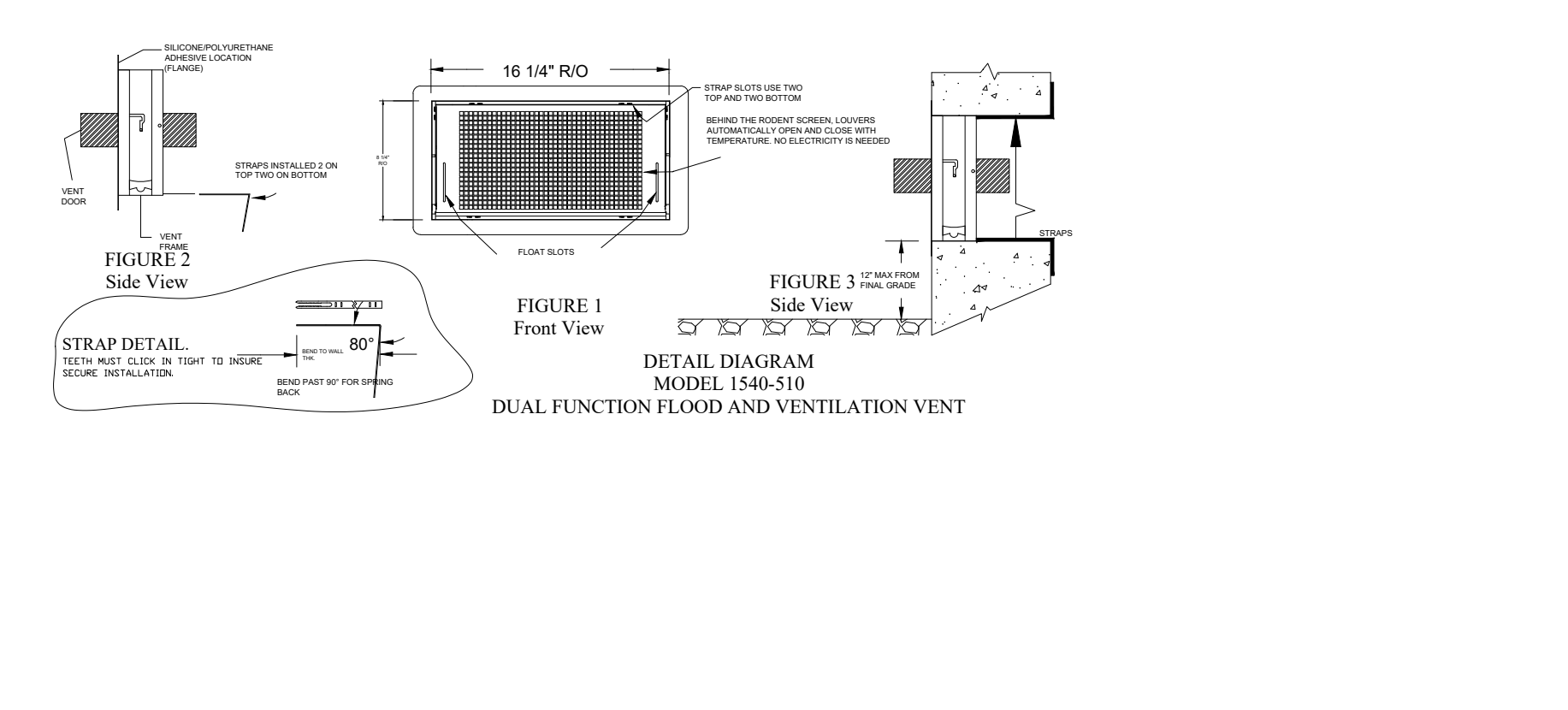
FLOOD ZONE INFO.

CURRENT:
COMMUNITY # 345303
MAP NO. 34025C0456G
SUFFIX "F"
DATE: 9-25-2009
ZONE "AE"
BFE: 8

PROPOSED:
COMMUNITY # 345303
MAP NO. 34025C0456G
SUFFIX "C" PRELIMINARY
DATE: 1-31-2014
ZONE "AE"
BFE: 9

ELEVATIONS REFER TO NAVD '88 DATUM
• 10.6 = EXIST SPOT ELEVATION

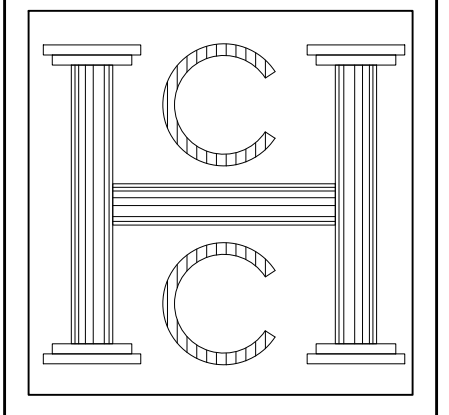
"Property is located in a flood zone and is subject to flooding. Ground level to be used only for garage storage and/or access."



REVISIONS		
NO.	DATE	REVISION

DRAWING TITLE:
SITE PLAN

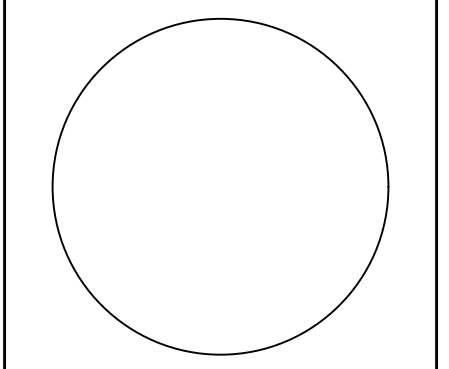
DRAWING NO.
S-1



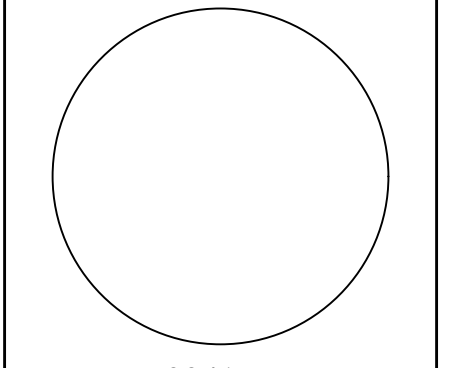
ARCHITECTURE & ENGINEERING

(908) 451-3161

CAROL C. HEWIT, PE AIA
468 ALLISON DRIVE
MANTOLOKING, NJ 08738



RA # AI 12960



PE # GE 32417

SCALE: NOTED

DRAWN BY: H. SANTOS

CHECKED BY: C.C. HEWIT

DATE: 07-23-2022

JOB #:

Boz Residence
583 Brielle Road
Manasquan, New Jersey

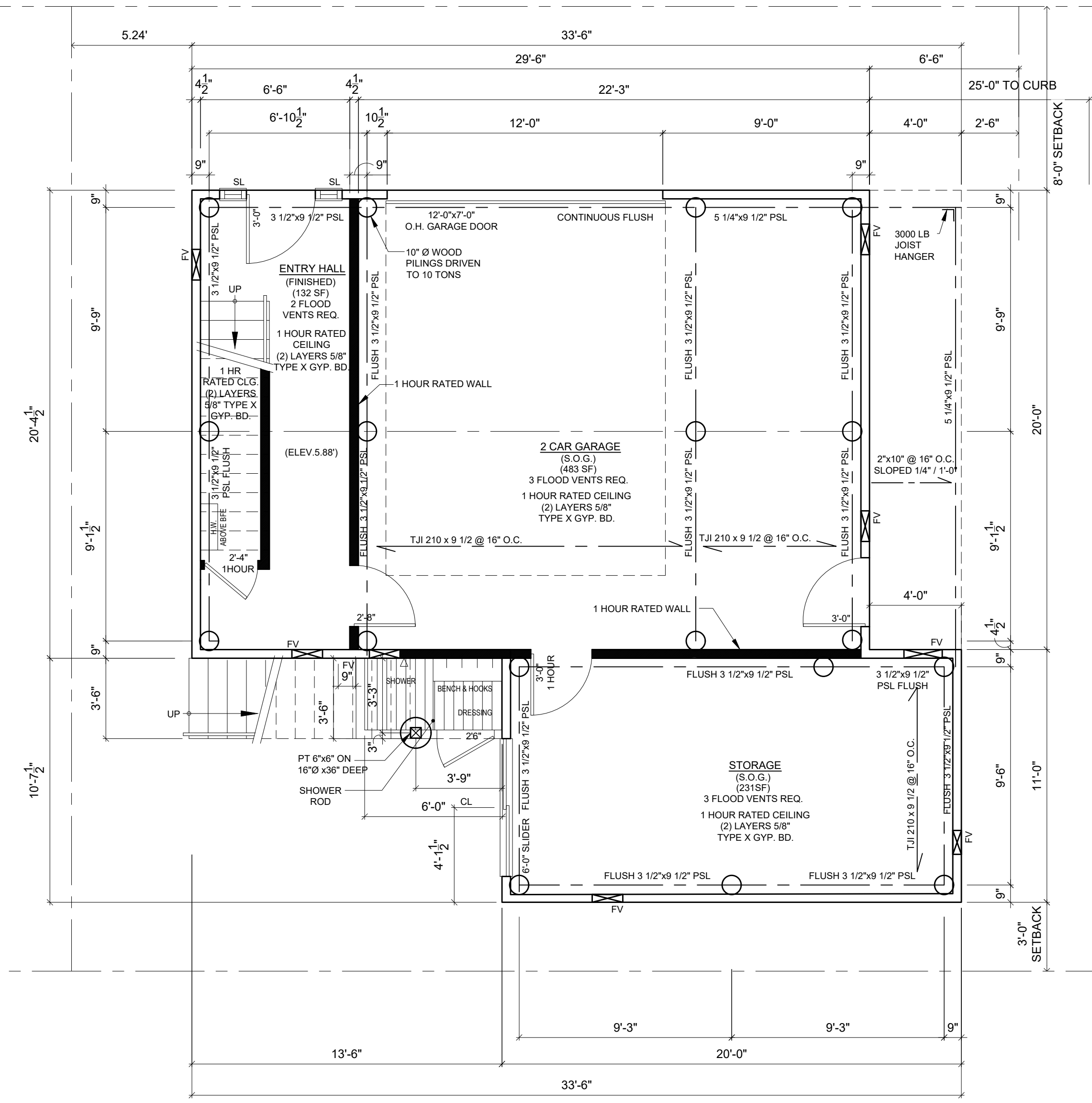
REVISIONS

NO. DATE REVISION

DRAWING TITLE:
FLOOR PLANS

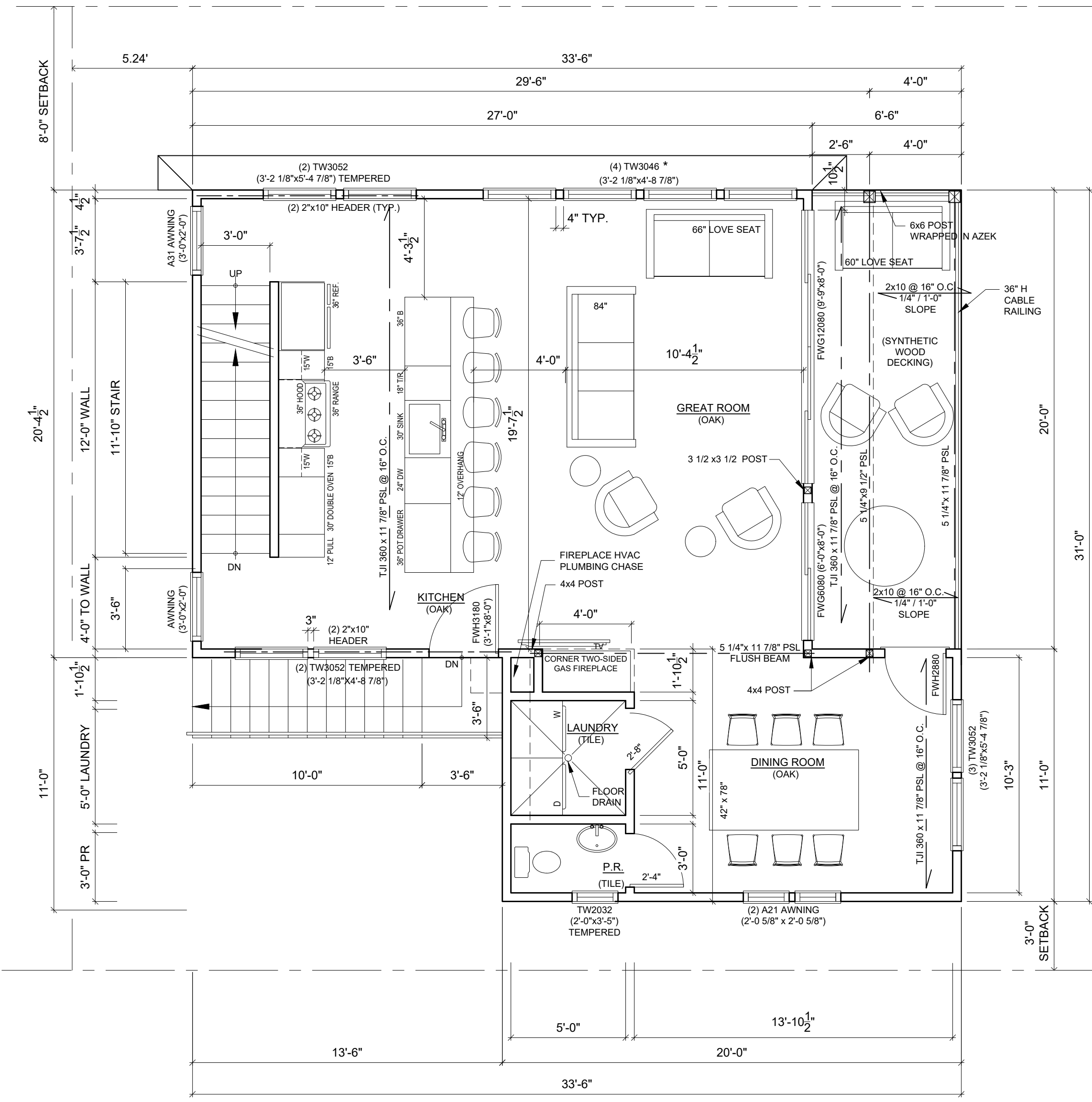
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A-1



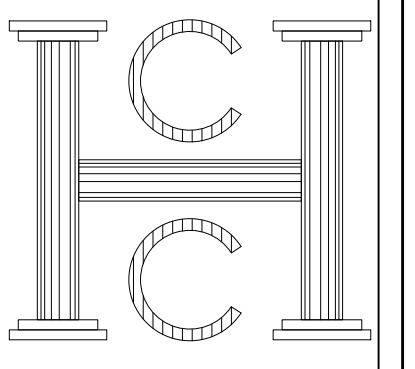
PROPOSED GROUND FLOOR PLAN

(890SF HEATED)
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN

(760SF HEATED + 130SF COVERED PORCH = 890SF)
SCALE: 1/4"=1'-0"



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RA # A1 12960

PE # GE 32417

SCALE: NOTED

DRAWN BY: H. SANTOS

CHECKED BY: C.C. HEWIT

DATE: 07-23-2022

JOB #:

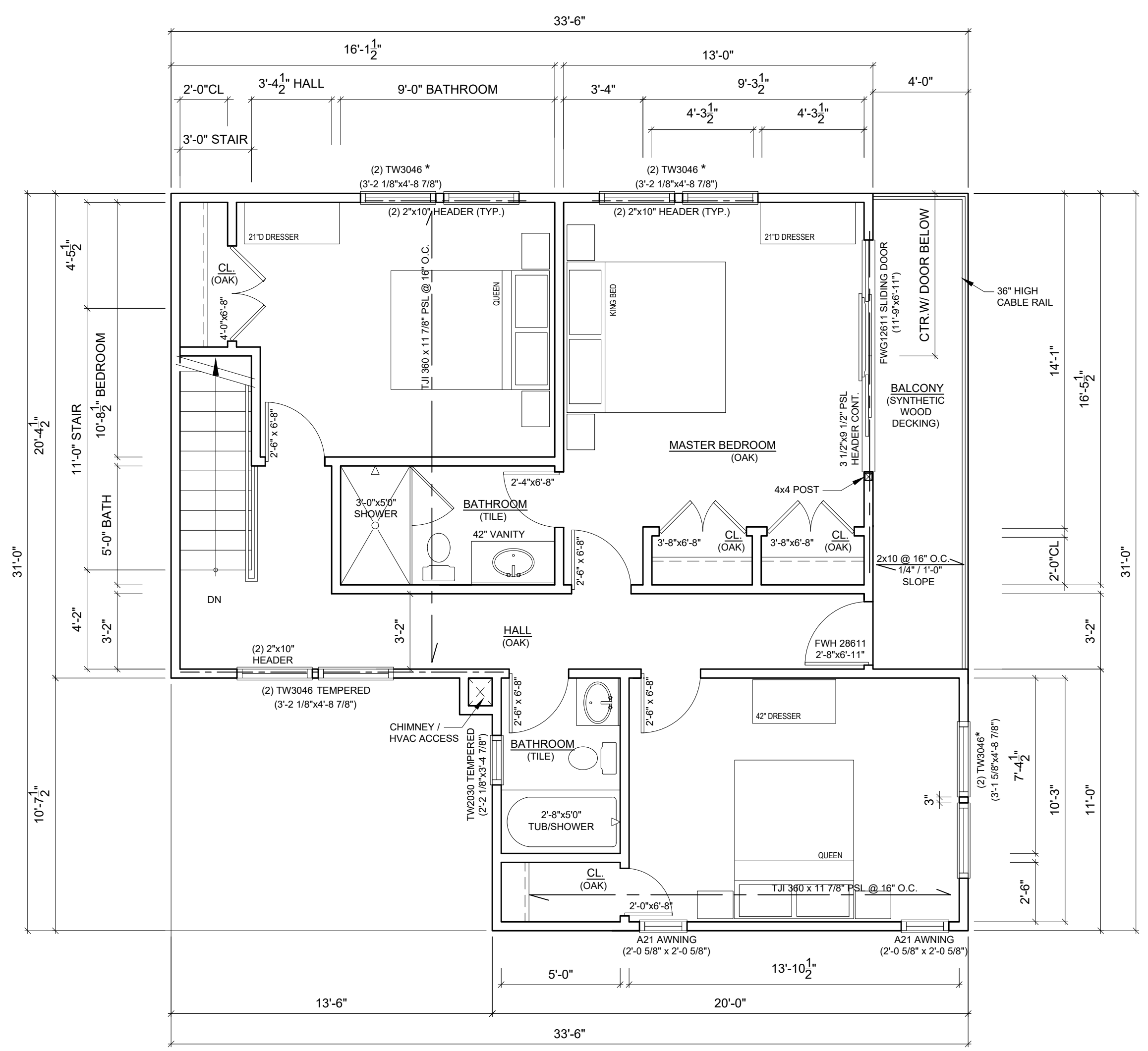
Boz Residence
583 Brielle Road
Manasquan, New Jersey

NO.	DATE	REVISION

DRAWING TITLE:
FLOOR PLANS

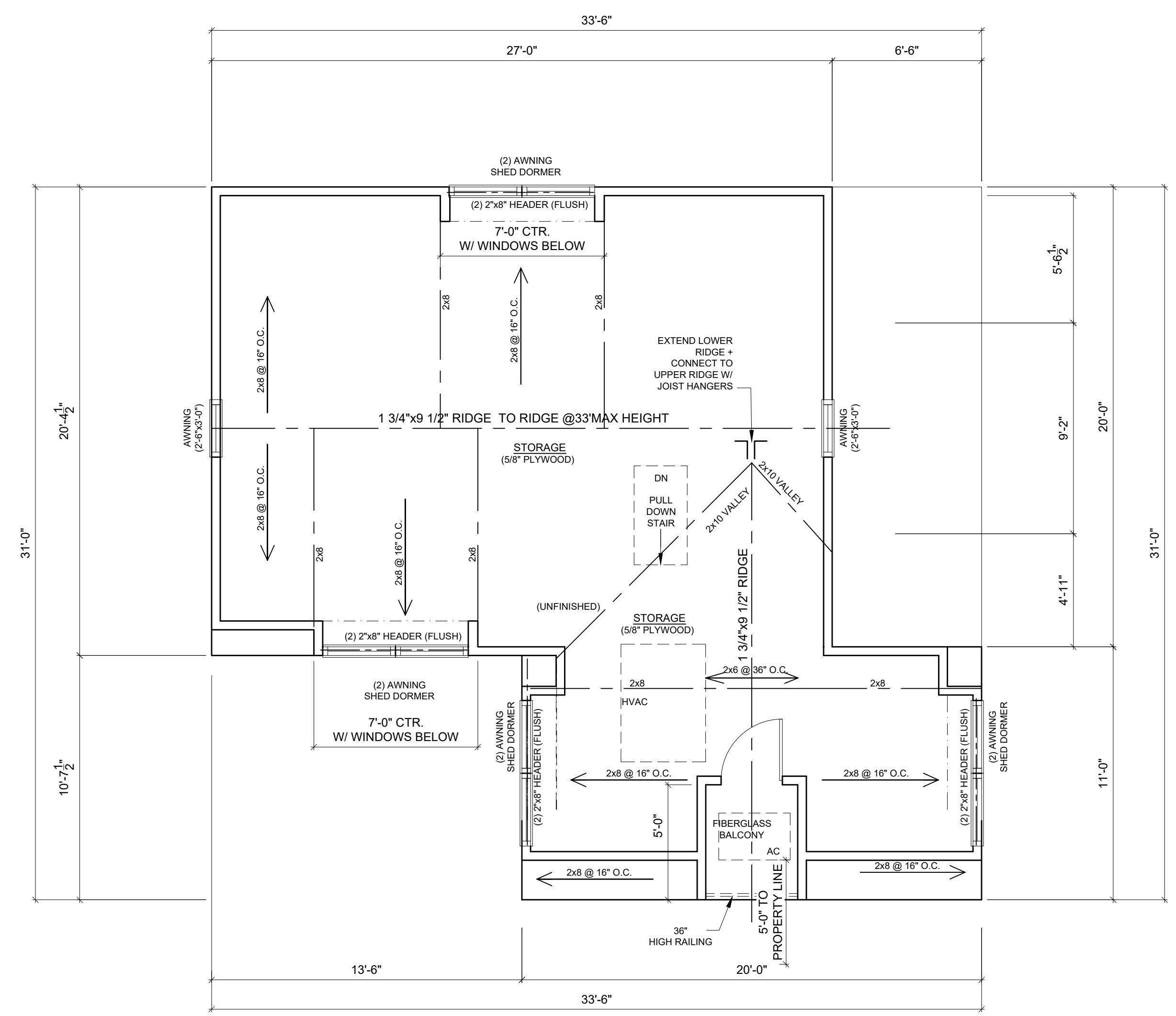
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A-2



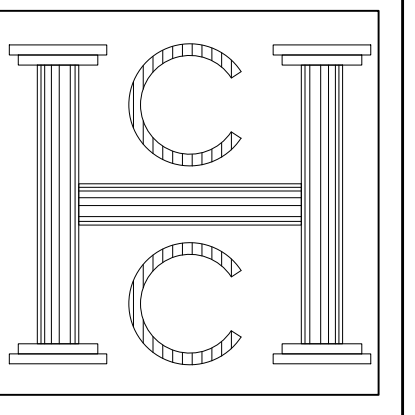
PROPOSED SECOND FLOOR PLAN

(810SF HEATED + 80SF BALCONY = 890 SF)
SCALE: 1/4"=1'-0"



PROPOSED ATTIC FLOOR PLAN

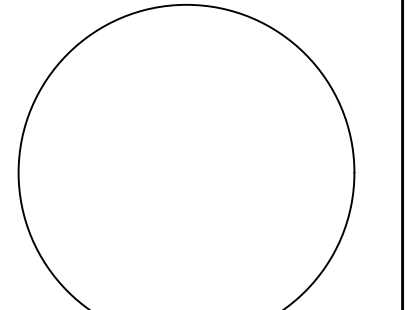
(0 SF OVER 5 FEET HEIGHT)
SCALE: 1/4"=1'-0"



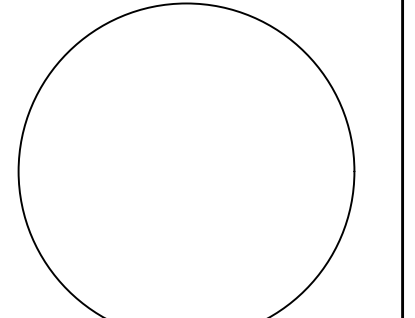
ARCHITECTURE & ENGINEERING

(908) 451-3161

CAROL C. HEWIT, PE AIA
468 ALLISON DRIVE
MANTOLOKING, NJ 08738



RA # AI 12960



PE # GE 32417

SCALE: NOTED

DRAWN BY: H. SANTOS

CHECKED BY: C.C. HEWIT

DATE: 07-23-2022

JOB #:

Boz Residence
583 Brielle Road
Manasquan, New Jersey

REVISIONS

NO. DATE REVISION

DRAWING TITLE:

ELEVATIONS

DRAWING NO.

A-3



PROPOSED FRONT ELEVATION (BRIELLE RD.)

SCALE: 1/4"=1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4"=1'-0"



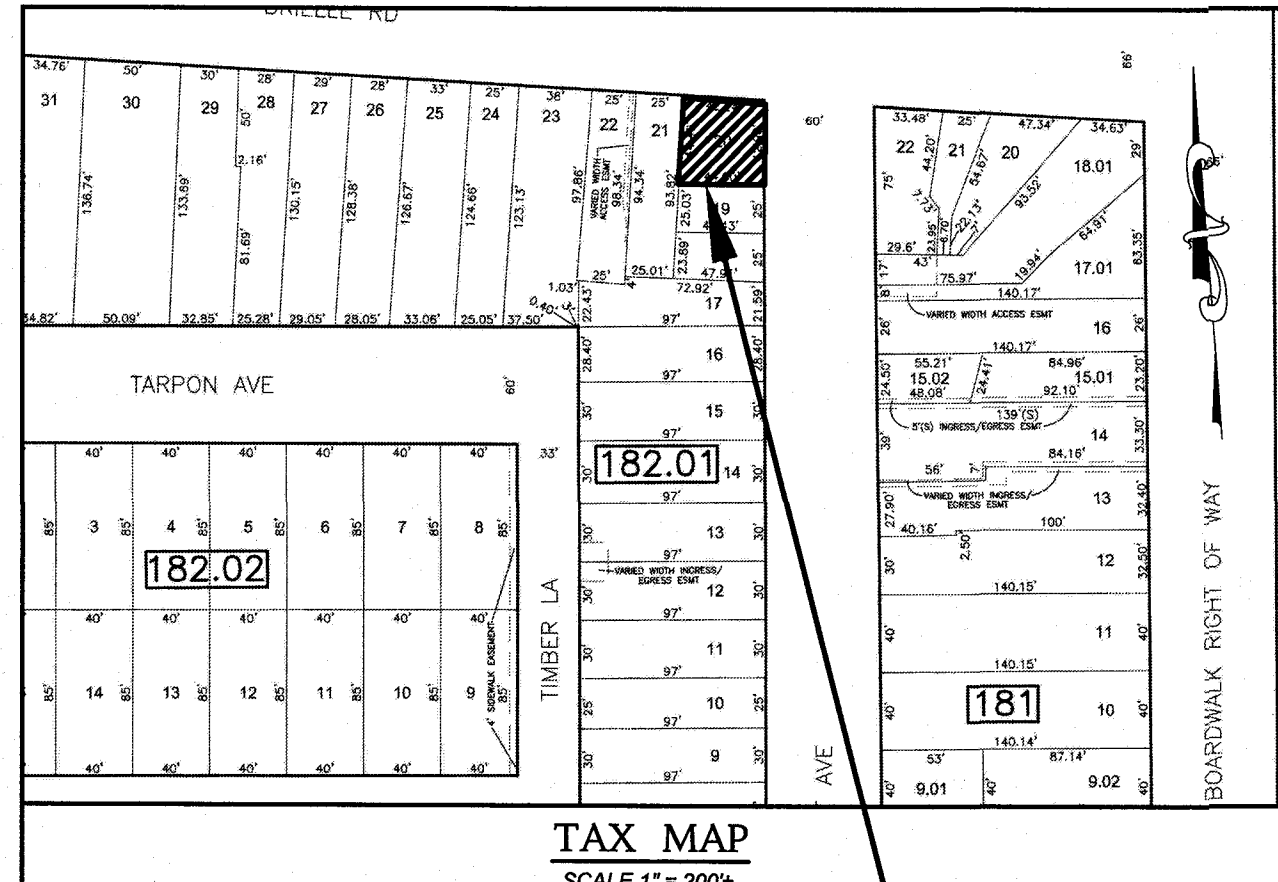
PROPOSED FRONT ELEVATION (FIRST AVE.)

SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



TED'S WELL SERVICE
 485 WHEATON AVE, BAYVILLE, NJ 08721
 PHONE: 732-237-2440 FAX: 732-237-8780
 EMAIL: tedwellservice@aol.com

DATE: 2/10/22
 NAME: JAMES BOZ
 ADDRESS: 583 BRIELLE RD MANASQUAN
 JOB LOC: 583440
 INV: 583440

BORING RESULTS

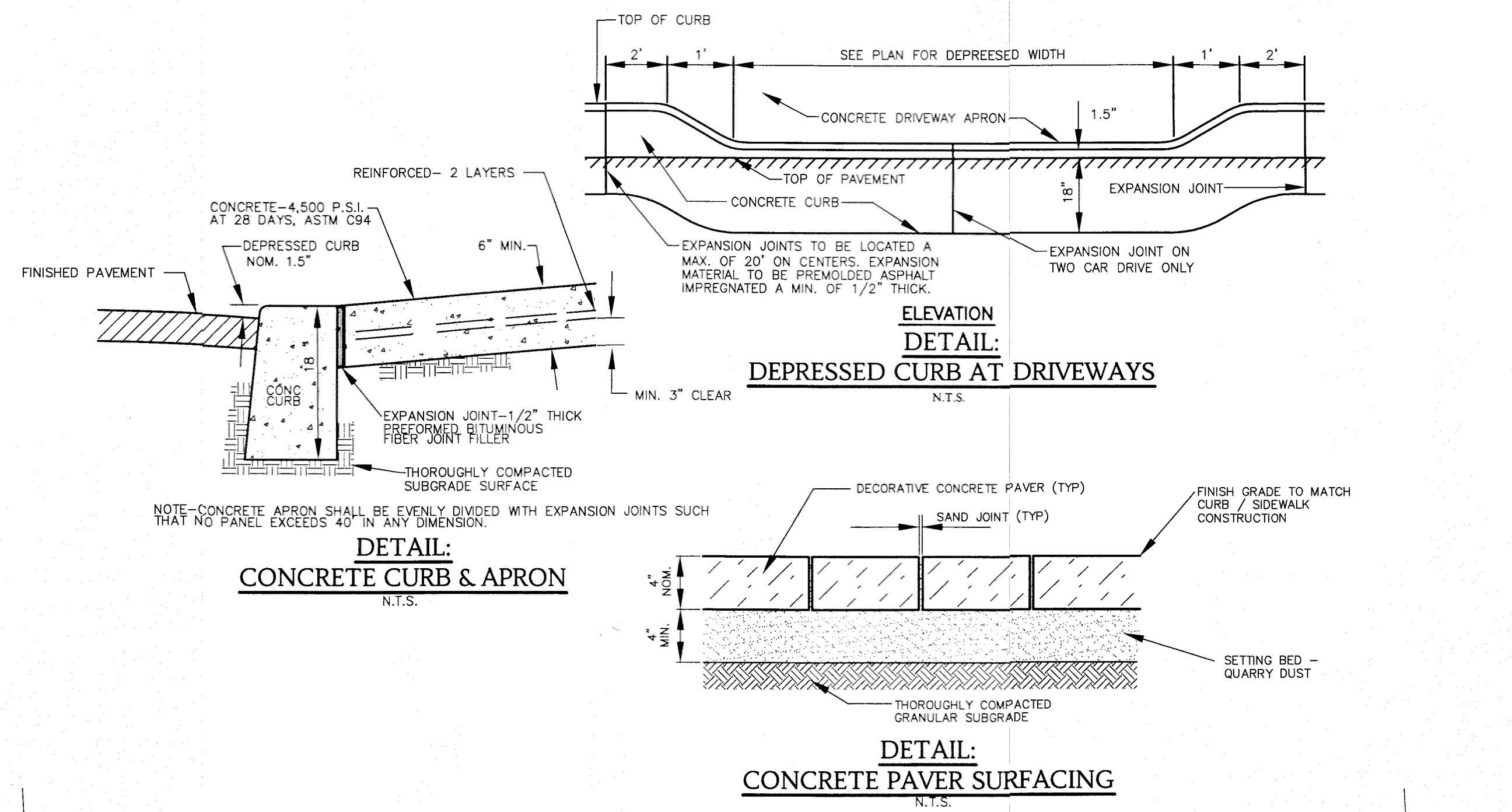
0'-6"	1	60°-66"	9	120°-126"	16	180°-186"
6'-12"	3	66°-72"	11	126°-132"	15	186°-192"
12'-18"	3	72°-78"	12	132°-138"	15	192°-198"
18'-24"	3	78°-84"	12	138°-144"	14	198°-204"
24'-30"	4	84°-90"	14	144°-150"	15	204°-210"
30'-36"	5	90°-96"	13	150°-156"	15	210°-216"
36'-42"	7	96°-102"	14	156°-162"	16	216°-222"
42'-48"	7	102°-108"	15	162°-168"	15	222°-228"
48'-54"	8	108°-114"	15	168°-174"	17	228°-234"
54'-60"	7	114°-120"	14	174°-180"	16	234°-240"

WATER TABLE:

0-24 SM SOFT	54-126 SM HARD
24-30 SM MED	126-144 SM/SP HARD
30-54 SM/SP HARD	144-240 SM HARD

GW: WELL GRADED GRAVEL, GRAVEL AND SAND MIXTURE
 GP: POORLY GRADED OR GRAVEL SAND MIXTURES, LITTLE OR NO FINES
 GM: SILTY GRAVEL, GRAVEL SAND MIXTURES
 GC: CLAYEY GRAVEL, GRAVEL SAND MIXTURES
 SW: WELL GRADED SANDS, GRAVELLY SANDS, LITTLE FINES
 SP: POOR GRADED SAND, GRAVELLY SANDS, LITTLE FINES
 SM: SILTY SANDS, SAND SILT MIXTURES
 SC: CLAYEY SANDS, SAND CLAY MIXTURES
 ML: INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY SILTS WITH HIGH PLASTICITY
 CL: INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, LEAN CLAYS
 OL: ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY
 MH: INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS SILTS
 CH: INORGANIC CLAYS OF HIGH PLASTICITY, ORGANIC CLAYS
 PT: PEAT AND OTHER HIGHLY ORGANIC SOILS

LEFT OF STEPS IN SAND



GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 182.01, LOT 20 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-5 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.043± ACRES (1,912.85 S.F.)

OWNER/APPLICANT: JAMES & NOREEN BOZ
 300 HERB HILL ROAD
 GLEN COVER, NY 11542

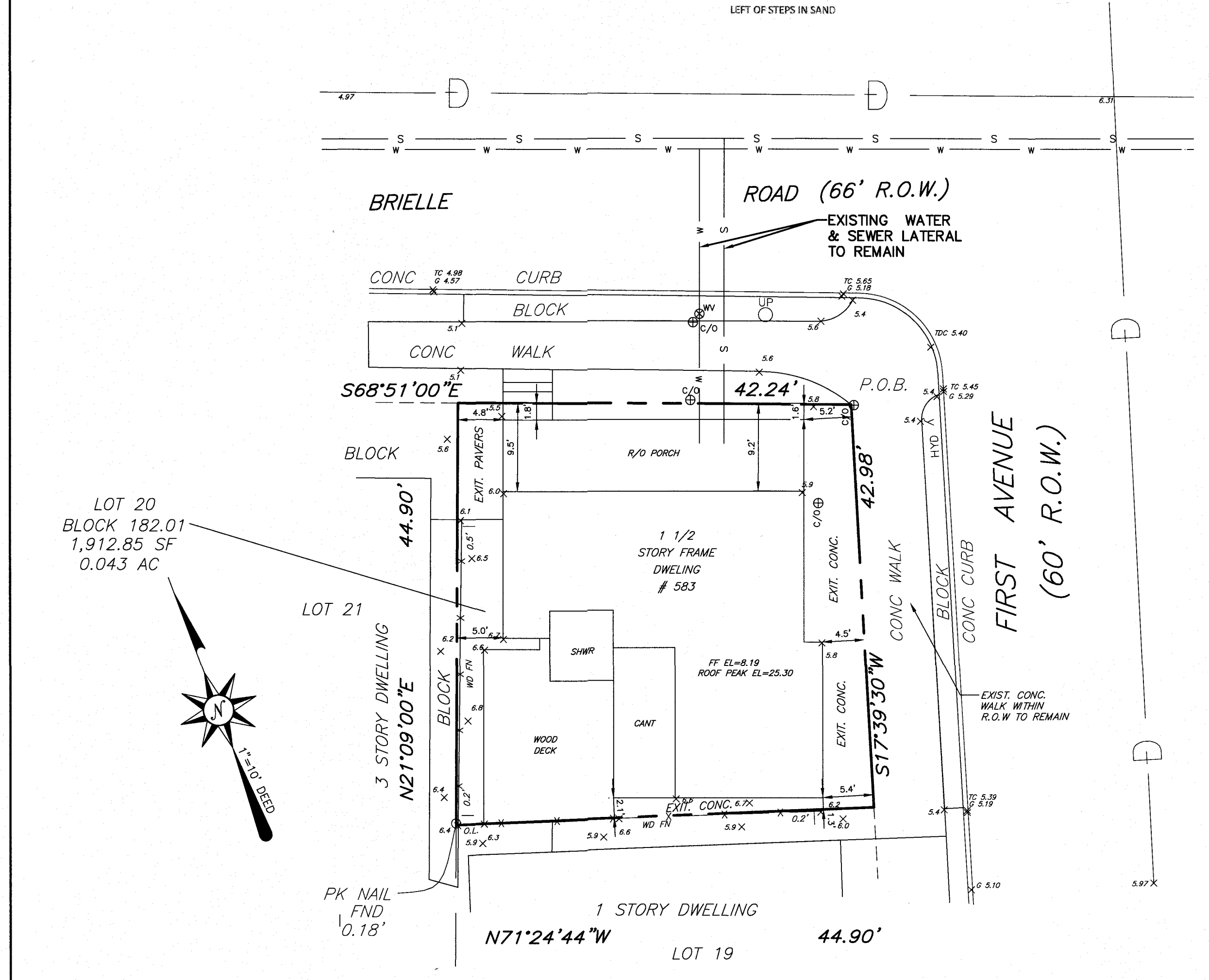
APPLICANT PROPOSES TO CONSTRUCT A 2 1/2 STORY DWELLING.
ZONE R-5

DESCRIPTION	REQUIRED/PERMITTED	EXISTING	PROPOSED
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	2,700 S.F.	* 1,912.85 S.F.	* 1,912.85 S.F.
MIN. LOT FRONTAGE	40 FT.	* 42.24 FT.	* 42.24 FT.
FRONT YARD SETBACK (BRIELLE ROAD)	10.99 FT. (AVERAGE)	* 1.6 FT.	** 8.00 FT.
FRONT YARD SETBACK (1ST AVE.)	6.90 FT. (AVERAGE)	* 4.5 FT.	** 3.99 FT.
SIDE YARD SETBACK	5 FT.	* 4.8 FT.	5.24 FT.
REAR YARD SETBACK	20 FT.	* 1.3 FT.	** 3.79 FT.
ACCESS. BLDG. REAR YARD SETBACK	5 FT.	N/A	N/A
ACCESS. BLDG. SIDE YARD SETBACK	5 FT.	N/A	N/A
POOL REAR YARD SETBACK	10 FT.	N/A	N/A
POOL SIDE YARD SETBACK	10 FT.	N/A	N/A
MAX. BLDG. COVERAGE	35 % (669.49 S.F.)	* 60.90 % (1,165 S.F.)	** 47.18 % (903 S.F.)
MAX. LOT COVERAGE	50 % (956.42 S.F.)	* 87.57 % (1,675 S.F.)	49.68 % (950 S.F.)
MAX. BLDG. HEIGHT	33 FT.	< 33 FT.	33.00 FT. (ARCHS.)
MAX. ACCESSORY HEIGHT	15 FT.	N/A	N/A
MIN. STORAGE	80 S.F.	> 80 S.F.	> 80 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	> 80 S.F.	81.5 S.F.
MAX. CURB CUT WIDTH	20 FT.	N/A	14.00 FT.

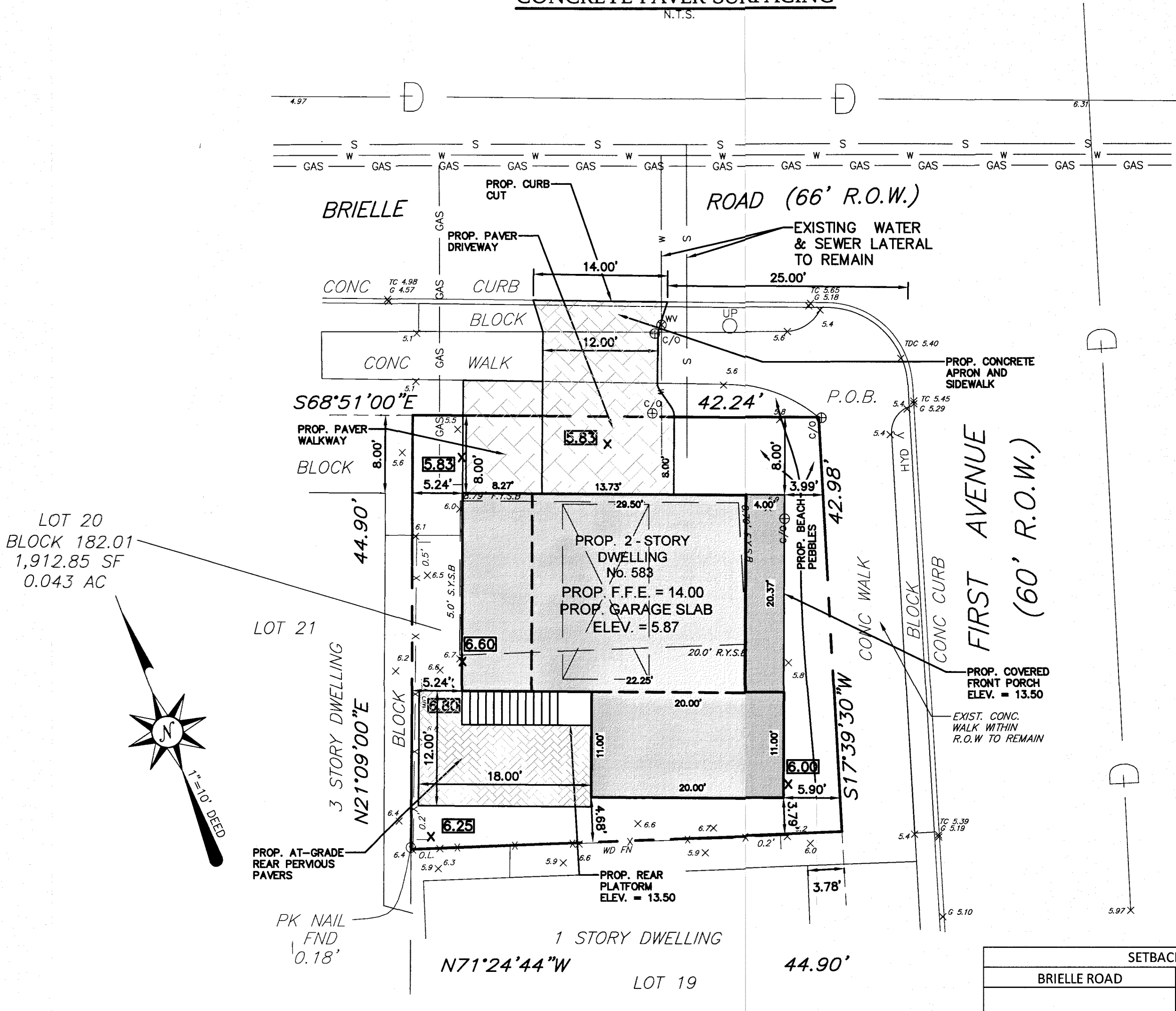
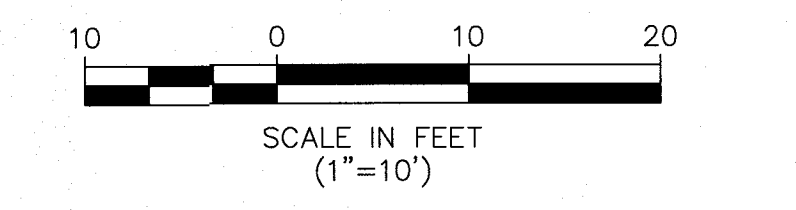
* - INDICATES EXISTING NON-CONFORMITY
 ** - INDICATES VARIANCE REQUIRED

PLAN NOTES

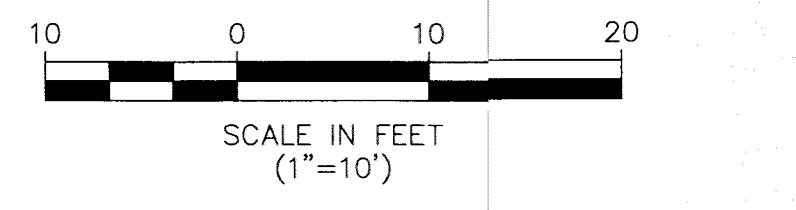
- EXISTING SEWER AND WATER SERVICES TO REMAIN AND TO BE REUSED.
- ELEVATIONS BASED ON 1988 N.A.V.D.
- PROPERTY IS LOCATED IN ZONE 'AE 9' PER FEMA PRELIMINARY MAPS.
- BUILDING HEIGHT MEASURED FROM TOP OF CURB (ELEV. 5.42) TO HIGHEST POINT OF THE ROOF.
- ALL ROOF LEADERS TO DIRECT FLOW TO R.O.W. NO ROOF LEADERS ARE TO DIRECT FLOW TOWARDS ADJACENT PROPERTIES.
- EXISTING DWELLING AND SITE FEATURES TO BE REMOVED.
- A/C UNITS TO BE LOCATED ON ROOF PER ARCHITECTURAL PLANS.
- EXISTING CURB & SIDEWALK TO BE REPLACED ALONG FIRST AVENUE & BRIELLE ROAD AS NECESSARY.



EXISTING CONDITIONS PLAN



PROPOSED DWELLING PLAN



SETBACK CHART

STREET	BLOCK	LOT	HOUSE
BRIELLE ROAD	182.01	20	P.O.I
	182.01	21	7.96
	182.01	22	N/A
	182.01	23	11.81
	182.01	24	11.98
	182.01	25	7.45
FIRST AVENUE	182.01	26	15.76
	182.01	27	10.97
	182.01	28	10.99
	182.01	20	P.O.I
	182.01	19	3.78
	182.01	18	3.05
182.01	17	3.98	
182.01	16	4.89	
182.01	15	15.58	
182.01	14	9.37	
182.01	13	7.63	
AVERAGE F.Y.S.B			6.90

SETBACK INFORMATION TAKEN FROM A SURVEY PREPARED BY FP&L ASSOCIATES, INC DATED 3/15/2022.

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY FP&L ASSOCIATES, INC DATED 3/15/2022.
 BUILDING INFORMATION TAKEN FROM ARCHITECTURAL PLANS PREPARED BY CAROL C. HEWITT DATED 7/23/2022.

PROPP. BUILDING HEIGHT CALCULATIONS
 EX. TOP OF CURB = 5.42 N.A.V.D.
 TOTAL PROP. BUILDING HEIGHT = 33.00 FT.

EXIST. BUILDING COVERAGE	
EXIST. DWELLING	868 S.F.
EXIST. COVERED FRONT PORCH	246
EXIST. OUTDOOR SHOWER	51 S.F.
EXIST. TOTAL BUILDING COVERAGE	1,165 S.F. 60.90%

EXIST. IMPERVIOUS COVERAGE	
EXIST. BUILDING COVERAGE	1,165 S.F.
EXIST. WOOD DECK	236 S.F.
EXIST. CONC. WALKWAY	274 S.F.
EXIST. TOTAL IMPERVIOUS COVERAGE	1,675 S.F. 87.57%

PROP. BUILDING COVERAGE	
PROP. DWELLING	821 S.F.
PROP. FRONT COVERED PORCH	81.5 S.F.
PROP. TOTAL BUILDING COVERAGE	903 S.F. 47.18%

PROP. IMPERVIOUS COVERAGE	
PROP. BUILDING COVERAGE	903 S.F.
PROP. DRIVEWAY = 176 S.F. (NOT COUNTED)	0 S.F.
PROP. REAR PERVIOUS PAVEMENT PATIO = 168.75 S.F. (NOT COUNTED)	0 S.F.
PROP. REAR STEPS	47 S.F.
PROP. TOTAL IMPERVIOUS COVERAGE	950 S.F. 49.68%

3. 11/8/2023 REVISED PER ARCHITECTURAL PLANS
 2. 4/12/2023 REVISED PER REVIEW LETTER DATED 3/24/2023.
 1. 10/13/2022 REVISED PER ARCHITECTURAL PLANS

REV. NO. DATE DESCRIPTION

VARIANCE PLAN

583 BRIELLE ROAD
 BLOCK 182.01 - LOT 20
 FOR JAMES & NOREEN BOZ

BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

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 Certificate of Authority No. 24042822000

JOSEPH J. KOCIUBA, P.E., P.P.
 P.E. License No.: GE45850

DRN	CHK
GEA	JJK

PROJECT NO. 2022-026
 SCALE AS SHOWN
 DATE 7/27/2022
 SHEET 1 OF 1